

### LEGEND

**General representation of subsurface utility quality levels**

**QL-A:** +/-50mm position and height  
**QL-B:** +/-300mm position, +/-500mm height  
**QL-C:** +/-300mm position, no height.  
**QL-D:** From records, accuracy unconfirmed

Building wall	Pipe or cable located by survey
Electric overhead — EOH	Pipe or cable plotted from records (QL-D)
Electric underground — E	
Light pole	D0.6
Pillar	(Survey positions)
Marker	(Depth below surface)
Marker post	
FENCE Block	
FENCE Picket	
FENCE Bollard	
FENCE Log	
FENCE ManProof	
FENCE Metal	
Gas main — G	
Sewer pipe — S	
Inspect. opening	
Stormwater pipe	
Box Grate Drain	
Field inlet	
Gully trap	
Telstra overhead — OHT	
Telstra underground	
Concrete	
Gravel	
Pavers	
Bitumen	
Water service — W	
Bore	
Fire hydrant	
FH post	
Hose reel	
Meter	
Manhole	
Marker	
Marker post	
Reducer	
Sprinkler	
Scour valve	
Tap	
Tapping band	
Valve	
Air valve	
Above g. valve	
Irrigation valve	
Bitumen	
Road surface	
Kerb	
Advert.	Keep Right
Airport	Misc. sign
Blue sign Ad/Services	Prohibitive Regulatory Parking
Brown sign Tourist	Rail Xing
Bus	Stop sign
Chevron	Speed sign
Green sign Dist./Directions	Street Name
Give way	School
Keep Left	Yellow sign Warning
<b>Subject property boundary</b>	
<b>Adjoining property boundary</b>	
<b>Covenant</b>	<b>Emt</b>
<b>Lease</b>	
Permanent survey mark	Bench mark

**PURPOSE OF PLAN**

This plan represents a ground survey of the site to enable architectural and engineering design. For reason of clarity, certain information is not shown on this plan. Please refer to the accompanying digital data for all survey information and attributes.

**CONTOURS**

The contours shown represent the site as it was at the time of survey. This is not necessarily the "natural surface" or "ground level" as defined by some councils and thus cannot be used to calculate compliance with some council's building height limits. Minor Contour Interval: 0.25m

**VEGETATION**

Only trees greater than or equal to 50mm breast height diameter have been located. Tree heights are approximate only. The species of trees shown are layman's estimates and were not determined by experts.

**PROPERTY BOUNDARIES**

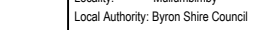

The property boundaries and dimensions shown on this plan are plotted from adjoining survey information and original title records. Accurate boundary locations can only be determined by completing a cadastral survey as defined by the Survey and Mapping Infrastructure Act 2003 and Surveyors Act 2003.

The property boundaries and dimensions shown on this plan must not be relied upon when designing services, buildings or other structures that will be constructed in close proximity to them. Designs of services, buildings or structures that require critical boundary offsets will require accurate boundary locations determined by completing a cadastral survey as defined by the Survey and Mapping Infrastructure Act 2003 and Surveyors Act 2003.

Boundary corners were not marked at the time of survey.

**COORDINATE SYSTEM:**

The survey data provided in these digital plans is on an arbitrary plane coordinate system, with north defined by DP1083205. Unlike the MGA coordinate system, this coordinate system is not scaled (Scale factor = 1.000) and so objects in the digital data measure the same length as those objects would measure on site.

Amd	Description	Date	Surveyor	Locator	Drafter	Manager		Hx Datum: Plane Hx Origin: --- Vrt Datum: AHD Vrt Origin: PM39210 Origin RL: 4.187m	Locality: Mullumbimby Local Authority: Byron Shire Council Lat Long: --- DWG: 149568-1 Detail Survey 12D: 149568 Detail Survey	SCALE PAGE SIZE A3 1:250	CLIENT	East Assets Group Pty Ltd		PROJECT	99 Station St, Mullumbimby	
A	First Issue	19/04/2021	DL	----	MO	BR		RPS Australia Asia Pacific Level 2, 34-38 Glenferrie Drive, Lakeside Corporate Space Suite 425, PO Box 465, Robina QLD 4226 T +61 7 5553 6900 W rpsgroup.com.au				Contour and Detail Survey Lot 26 & 27 on DP2772				
								5 2.5 0 2.5 5 7.5 10 12.5 SCALE IN METERS AT ORIGINAL REDUCTION RATIO		© Copyright protects this plan		SHEET 1 of 1	PR149568		1	A

REV:	DESCRIPTION:	DATE:
A	DA. Copy (1st Issue) 70mm frame	14/08/21.

Design By: 

**DAMON TALLON** 

*Building Designer*

QBCC. Lic #: 67486    mob: 0422-136 657

Email: damontallon@gmail.com

PROPOSED DUAL OCCUPANCY  
RESIDENCES LOCATED AT Lot 26 & 27  
DP2772  
(#99) STATION STREET, MULLUMBIMBY,  
NSW.  
DA. COPY - 1st Issue

THE EXACT SAME DUAL OCCUPANCY (2 UNIT) BUILDING THAT FACES ON TO STATION STREET  
WILL ALSO BE CONSTRUCTED FACING ON TO McGOUGHANS LANE.

LEGEND:	
Sheet 01:	COVER SHEET
Sheet 02:	SITE PLAN - EXISTING STRUCTURES. 1:200
Sheet 03:	SITE PLAN - OVERALL. 1:200
Sheet 04:	SITE PLAN - STATION ST. END. 1:100
Sheet 05:	SITE PLAN - McGOUGHANS LANE END. 1:100
Sheet 06:	COUNCIL DRIVEWAY CROSSING INFO (R-14 DRAWING)
Sheet 07:	DRIVEWAY CROSS SECTIONS
Sheet 08:	TREE PLAN EXISTING. 1:150
Sheet 09:	DEEP SOIL ZONE AREAS. 1:150
Sheet 10:	FLOOR PLAN - UPPER
Sheet 11:	DIMENSION PLAN - UPPER
Sheet 12:	FLOOR PLAN - LOWER
Sheet 13:	DIMENSION PLAN - LOWER
Sheet 14:	CROSS SECTION 'C'
Sheet 15:	CSR. PARTYWALL INFO
Sheet 16:	ELEVATION 1
Sheet 17:	ELEVATION 2
Sheet 18:	ELEVATION 3
Sheet 19:	ELEVATION 4
Sheet 20:	PERSPECTIVES 01
Sheet 21:	PERSPECTIVES 02
Sheet 22:	PERSPECTIVES 03

\* THESE PLANS SUPERCEED ALL OTHER PREVIOUS PLANS OR SKETCHES & ARE THE PLANS REFFERED TO IN THE CONTRACT

**LEGEND**

General representation of subsurface utility quality levels

Pipe or cable located by survey

(Surveyed positions)

(Depth below surface)

Pipe or cable plotted from records (QL-D)

QL-A: +/-500mm position and height  
 QL-B: +/-300mm position, +/-500mm height  
 QL-D: +/-300mm position, no height  
 QL-D: From records, accuracy unconfirmed

**Building wall**

Electric overhead  
 —EOH—

Electric underground  
 —E—

Light pole

Pillar

Marker

Marker post

Power pole

Manhole

Pit

FENCE Block

FENCE Picket

FENCE Bollard

FENCE Pool

FENCE Log

FENCE Rail

FENCE ManProof

FENCE Wire

FENCE Metal

FENCE General

Gas main  
 —G—

Sewer pipe  
 —S—

Stormwater pipe  
 —D—

Box Grate Drain

Field inlet

Gully trap

Manhole

Telstra overhead  
 —OHT—

Telstra underground  
 —T—

Manhole

Marker post

Pillar

Pit

Marker

Concrete

Gully

Gravel

CG

Pavers

Water edge

Bitumen

**Water service**

Bore

Fire hydrant

FH post

Hose reel

Meter

Manhole

Marker

Marker post

Blumen

Reducer

Sprinkler

Scour valve

Tap

Turning band

Valve

Air valve

Above g.v. valve

Irrigation valve

Road surface

Kerb

**Subject property boundary**

**Adjoining property boundary**

**Covenant**

**Ent**

**Lease**

Permanent survey mark

Bench mark

Advert.

Airport

Blue sign

Auto Services

Brown sign

Tourist

Bus

Chevron

Green sign

Dir./directions

Give way

Keep Left

Keep Right

Misc. sign

Prohibitive

Regulatory

Parking

Rail Xing

Stop sign

Speed sign

Street Name

School

Yellow sign

Warning

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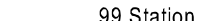
CONTOURS

The contours shown represent the site as it was at the time of survey. This is not necessarily the "natural surface" or "ground level" as defined by some councils and thus cannot be used to calculate compliance with some council's building height limits. Minor Contour Interval: 0.25m

VEGETATION

Only trees greater than or equal to 50mm breast height diameter have been located. Tree heights are approximate only. The species of trees shown are layman's estimates and were not determined by experts.

Page: **2** of **22.**

Amd	Description	Date	Surveyor	Locator	Drafter	Manager		Hx Datum: Plane	Locality: Mullumbimby	PAGE SIZE	CLIENT East Assets Group Pty Ltd	PROJECT 99 Station St, Mullumbimby		
A	First Issue	19/04/2021	DL	----	MO	BR		Hx Origin: ---	Local Authority: Byron Shire Council	A3				
								Vrt Datum: AHD	Lat Long: ---	SCALE			1:250	
								Vrt Origin: PM39210 <td>DWG: 149568-1 Detail Survey<td></td><td></td><td></td></td>	DWG: 149568-1 Detail Survey <td></td> <td></td> <td></td>					
								Origin RL: 4.187m <td>12D: 149568 Detail Survey<td></td><td></td><td></td></td>	12D: 149568 Detail Survey <td></td> <td></td> <td></td>					
														
								SCALE IN METERS AT ORIGINAL REDUCTION RATIO						
								RPS Australia Asia Pacific Level 2, 34-36 Glenferrie Drive, Lakeside Corporate Space Suite 425, PQ Box 465, Robina QLD 4226 T +61 7 5553 9900 W rpsgroup.com.au						
													Contour and Detail Survey Lot 26 & 27 on DP2772	
								© Copyright protects this plan					SHEET 1 of 1 PR149568 1 A	



Site Coverage: (PER UNIT)

TOTAL SITE AREA: 281.25m2  
TOTAL HOUSE GFA.: 150.90m2  
SITE COVERAGE: 53.7%

Floor Space Ratio: (PER UNIT)

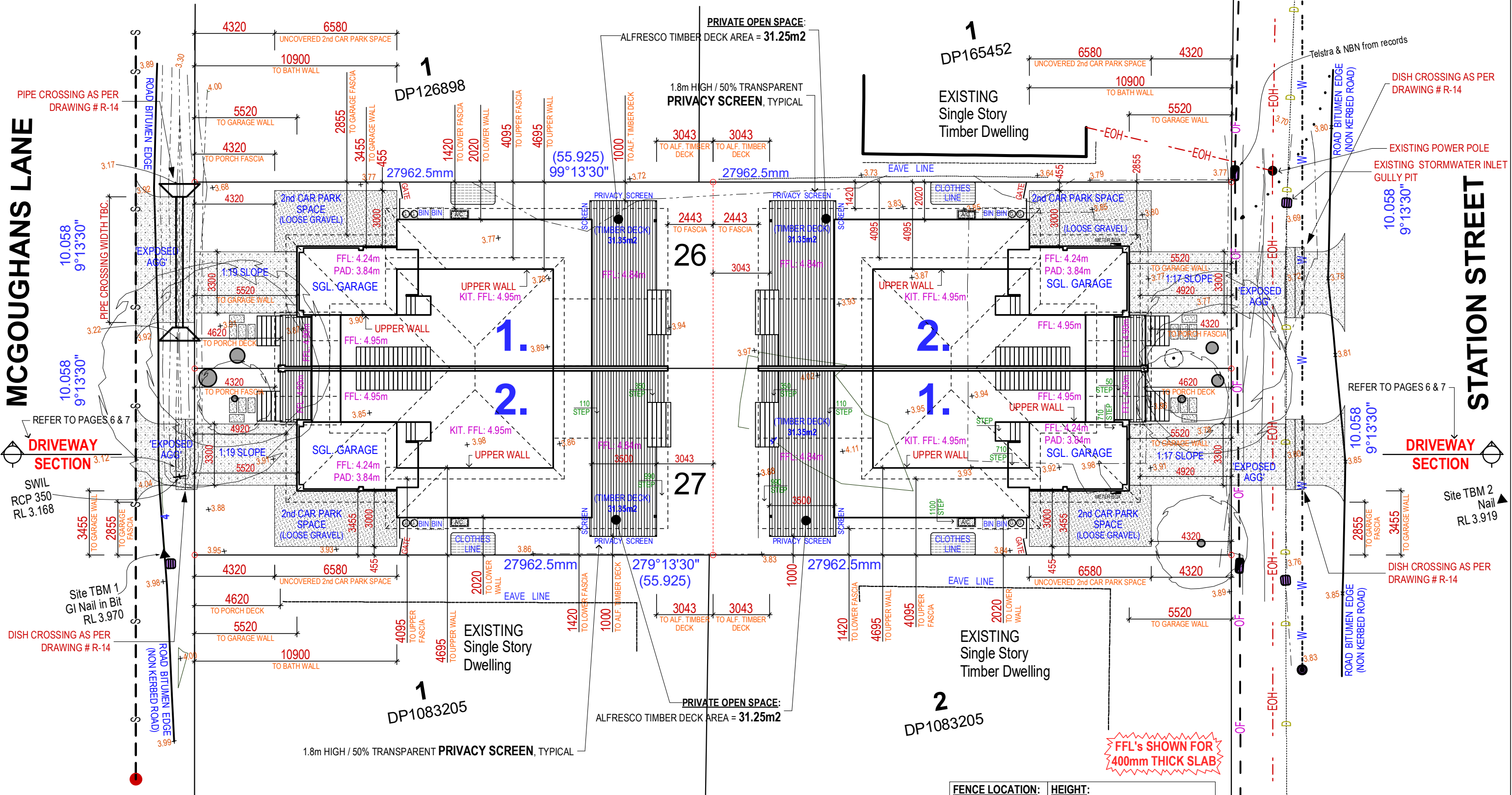
TOTAL SITE AREA: 281.25m2  
(UPPER GFA. = 41.23m2 / LOWER GFA. = 88.62m2) TOTAL GFA. = 129.85m2

THIS TOTAL DOES NOT INCLUDE THE EXTERNAL WALL THICKNESS, (GFA AREAS MEASURED FROM THE INSIDE FACE OF EXTERNAL WALLS). TOTAL ALSO DOES NOT INCLUDE THE REAR EXTERNAL ALFRESCO TIMBER DECK, ENTRY PORCH DECK & THE INTERNAL STAIRS / LANDING AREA AT REAR OF GARAGE.

FLOOR SPACE RATIO: 0.461 : 1

MCGOUGHANS LANE

STATION STREET



SITE PLAN - OVERALL

SCALE 1:200 at A3.

# SITE PLAN

scale: 1:100 at A3.

**DAMON TALLON**  
Building Designer

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CLIENT:  
ADDRESS:

**East Assets Group**  
**Lot 26 & 27 (No:99) STATION STREET**  
**Mullumbimby, NSW. DP2772.**  
**DUAL OCCUPANCY**

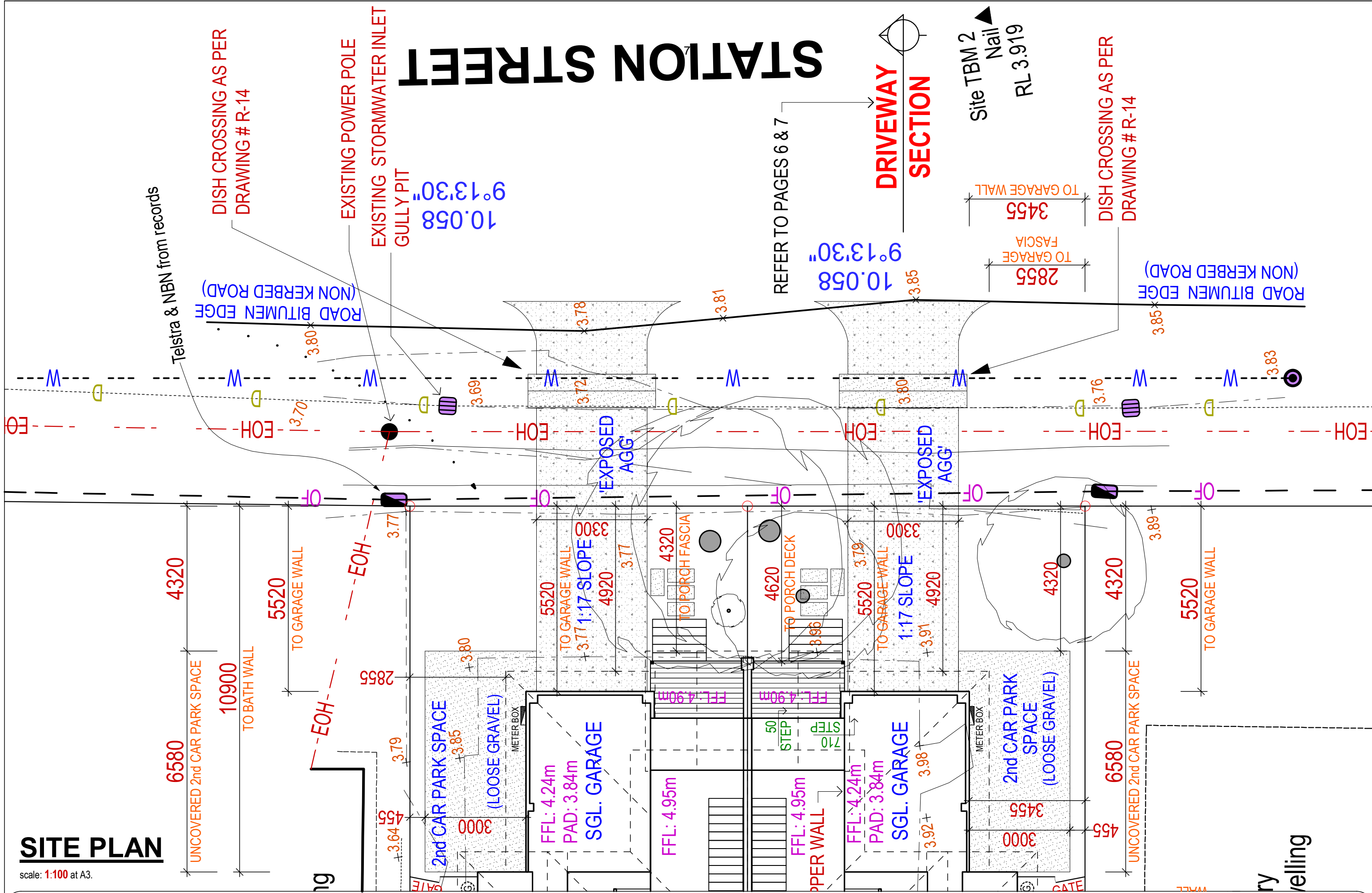
Rev:

Description:  
A DA-01 (1st Issue) 'Dual Occupancy' - 70mm frame

Date:  
14/08/21

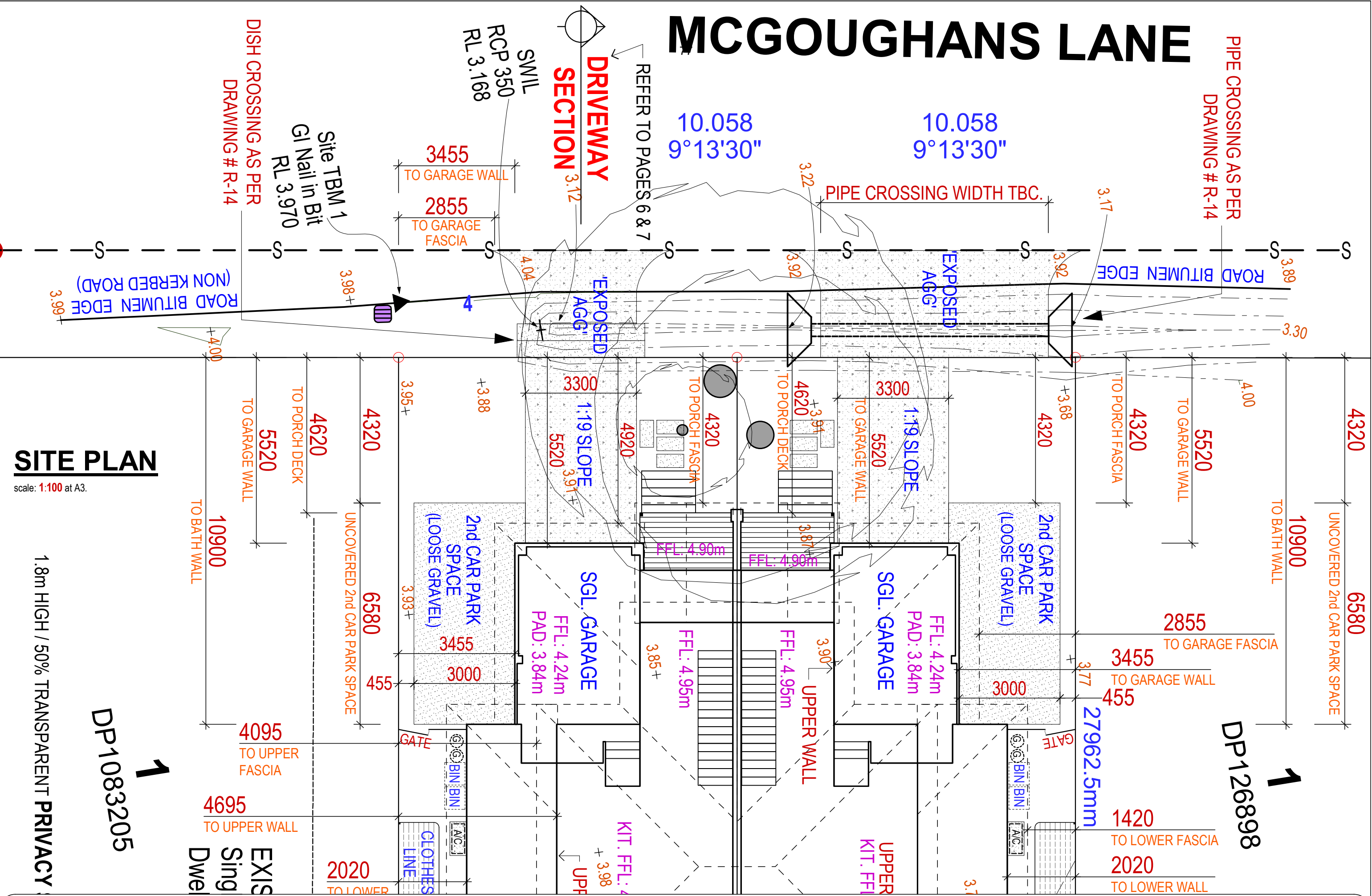
Latest Plans:  
14/08/21

Page: 4 of 22.

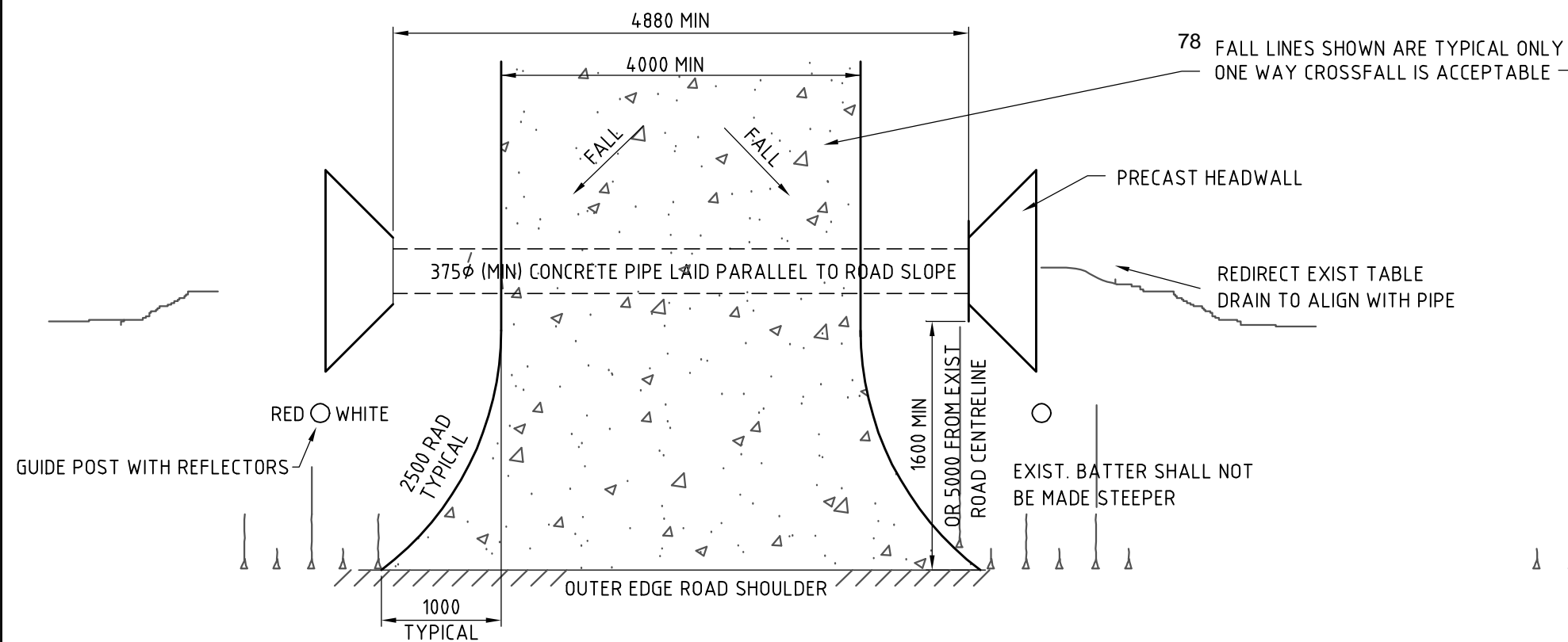




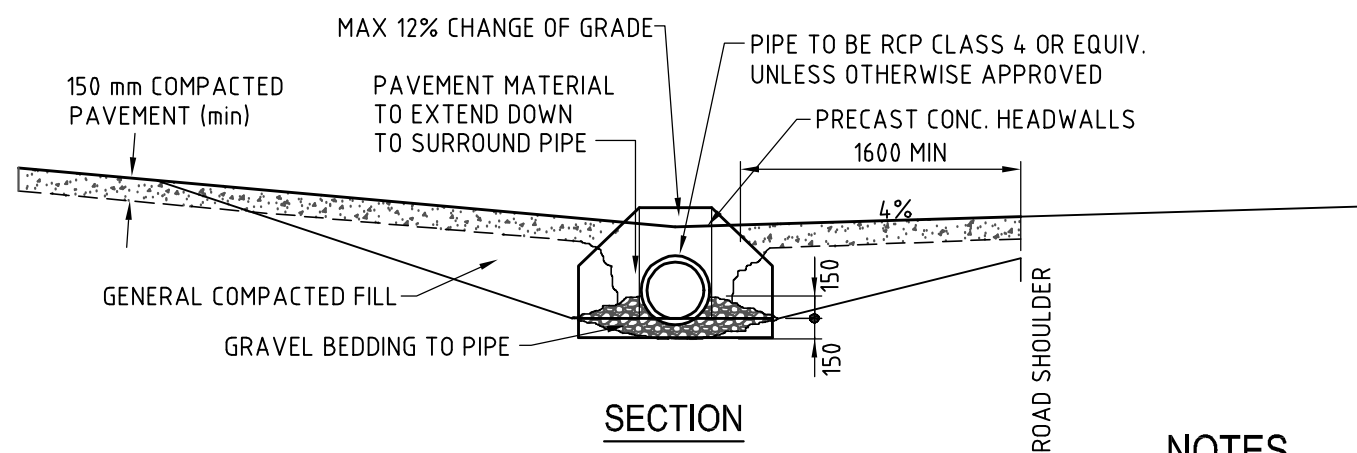
# MCGOUGHANS LANE



**SITE PLAN**  
scale: 1:100 at A3.



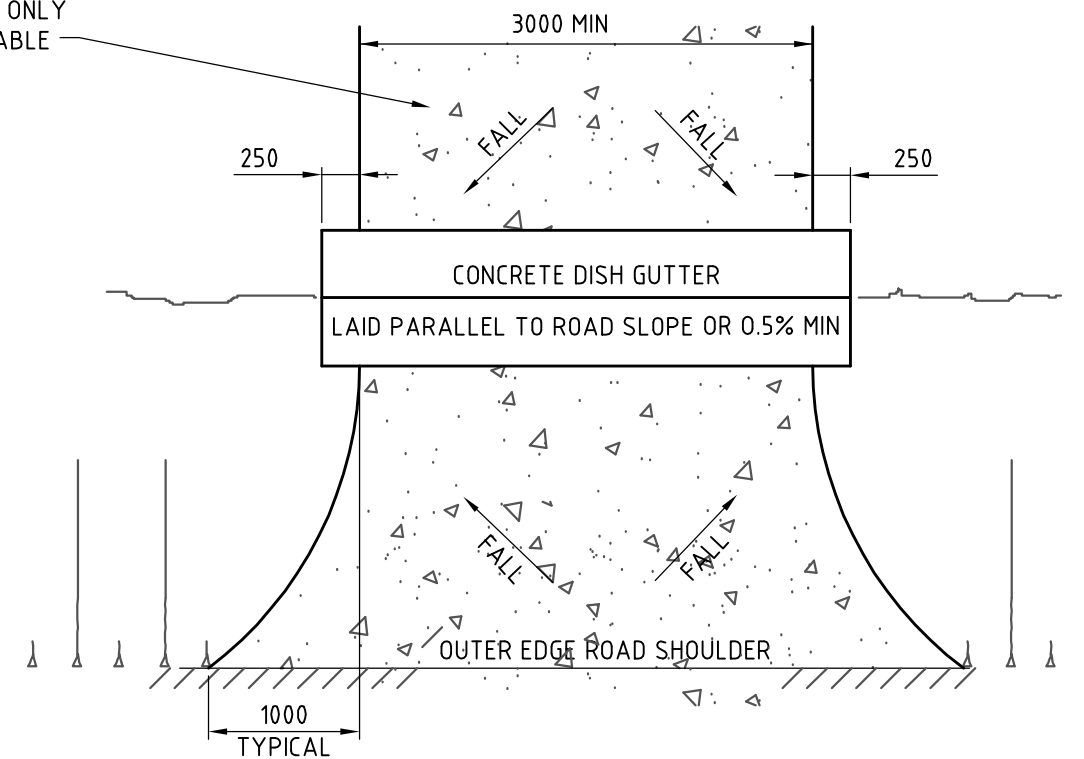
PLAN



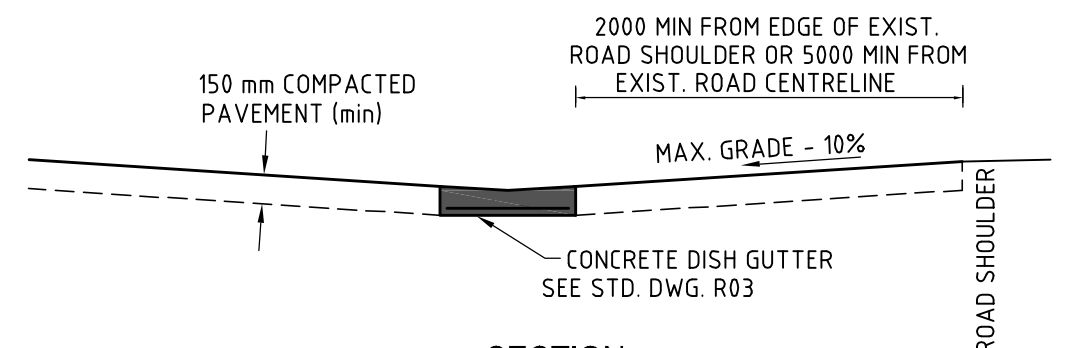
SECTION  
PIPED CROSSING

NOTES

1. WHERE EXISTING SERVICE ROAD IS SEALED, THE DRIVEWAY SHALL BE SEALED FROM THE EDGE OF ROAD TO A POINT 3000 INSIDE THE PROPERTY BOUNDARY, OR GATE IF APPLICABLE. HOWEVER, ANY DRIVEWAY, OR PORTION OF DRIVEWAY, GREATER THAN 12% SHALL BE SEALED.
2. MAX CHANGE OF GRADE TO BE 12%, INCLUDING TRANSITION FROM ROAD. MAX GRADE OF DRIVEWAY TO BE 25%
3. GATES SHALL OPEN INTO THE PROPERTY WHERE POSSIBLE & BE SET BACK A MIN. OF 6.0m FROM THE ROAD SHOULDER. WHERE THE GATE MUST OPEN OUTWARDS, THE SETBACK SHALL BE INCREASED TO A MIN OF 10.0m FROM THE ROAD SHOULDER
4. SELF OPENING GATES MAY BE USED ON THE BOUNDARY
5. Q5 SWALE FLOWS SHALL BE BELOW THE SUBGRADE



PLAN



SECTION

DISH CROSSING

PREFERRED

NOT TO SCALE

C	CROSSFALL NOTE ADDED	<i>[Signature]</i>	18/6/2012
B	AMENDED	<i>[Signature]</i>	7/7/10
A	ORIGINAL ISSUE	<i>[Signature]</i>	3/10/06
REVISIONS		APP'D	DATE

STANDARD DRAWINGS

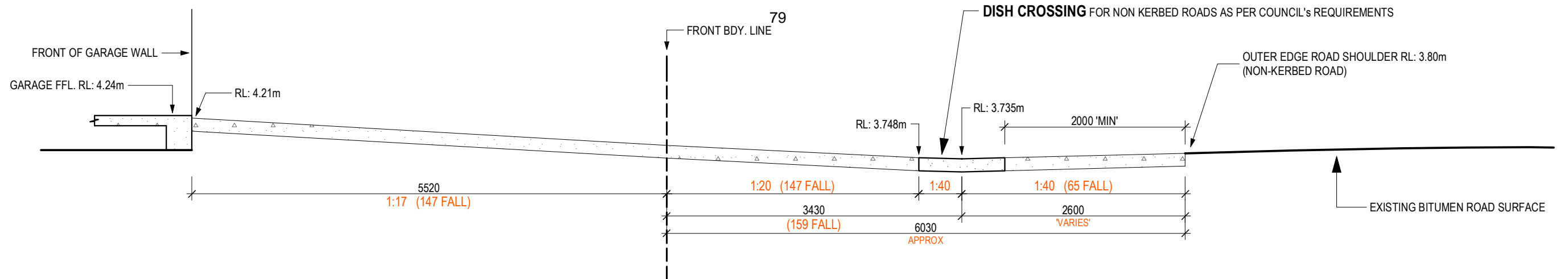
# NORTHERN RIVERS LOCAL GOVERNMENT

DRIVEWAYS & VEHICULAR  
CROSSINGS FOR  
NON KERBED ROADS

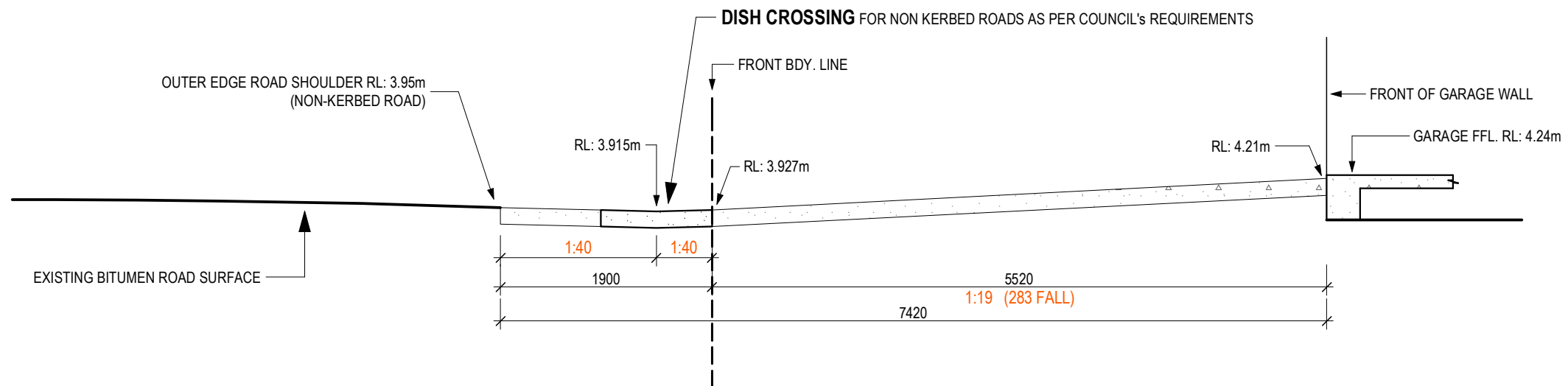
ROAD/STREET  
STANDARD  
DRAWING

**R-14**

A B C

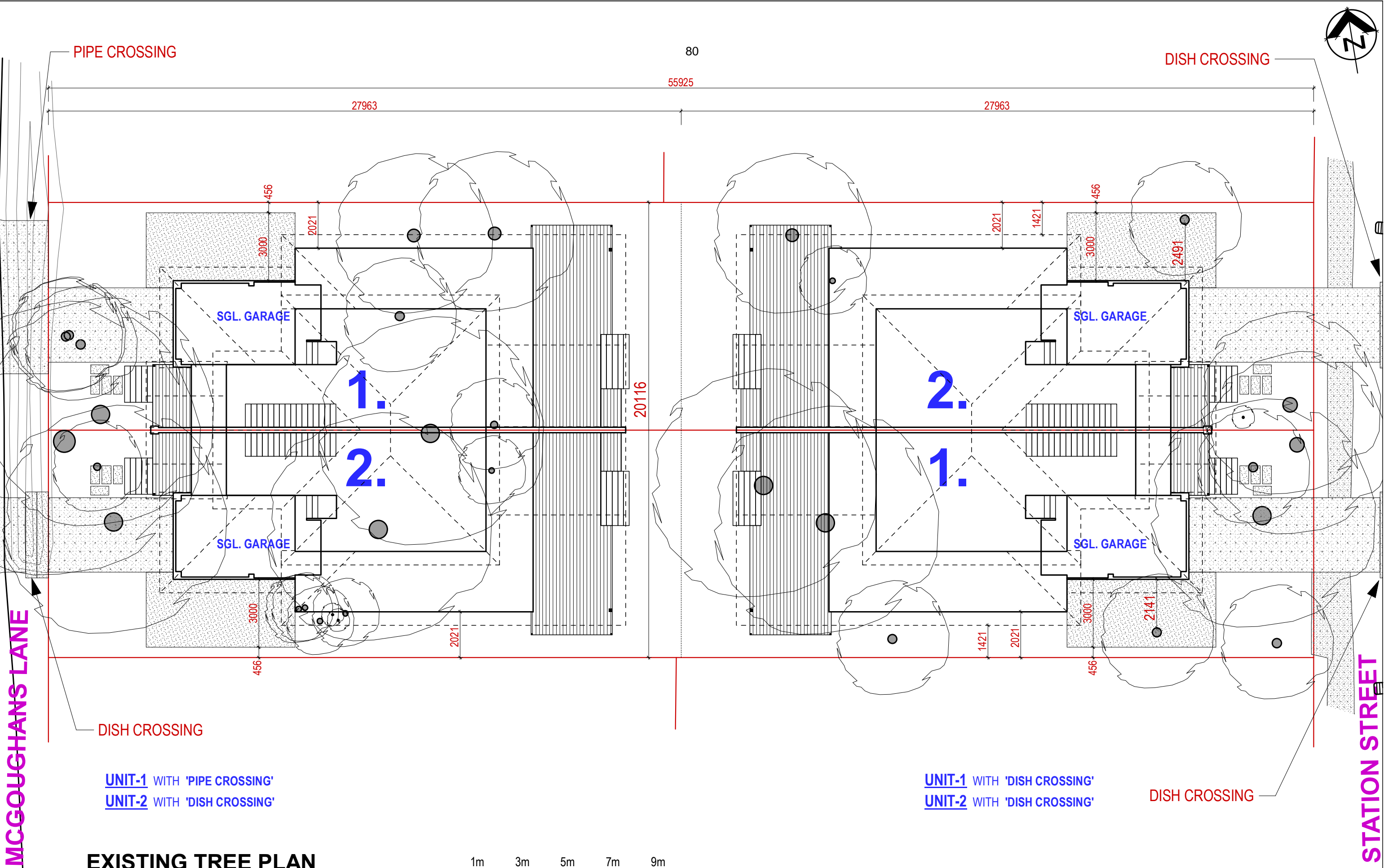


**STATION STREET TYP.. DRIVEWAY CROSS SECTION** SCALE 1:50 at A3.



**McGOUGHANS LANE TYP.. DRIVEWAY CROSS SECTION** SCALE 1:50 at A3.



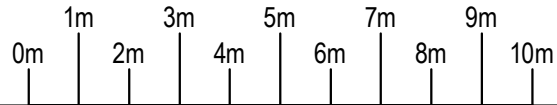


**UNIT-1** WITH 'PIPE CROSSING'  
**UNIT-2** WITH 'DISH CROSSING'

**UNIT-1** WITH 'DISH CROSSING'  
**UNIT-2** WITH 'DISH CROSSING'

**EXISTING TREE PLAN**

SCALE 1:150 at A3.



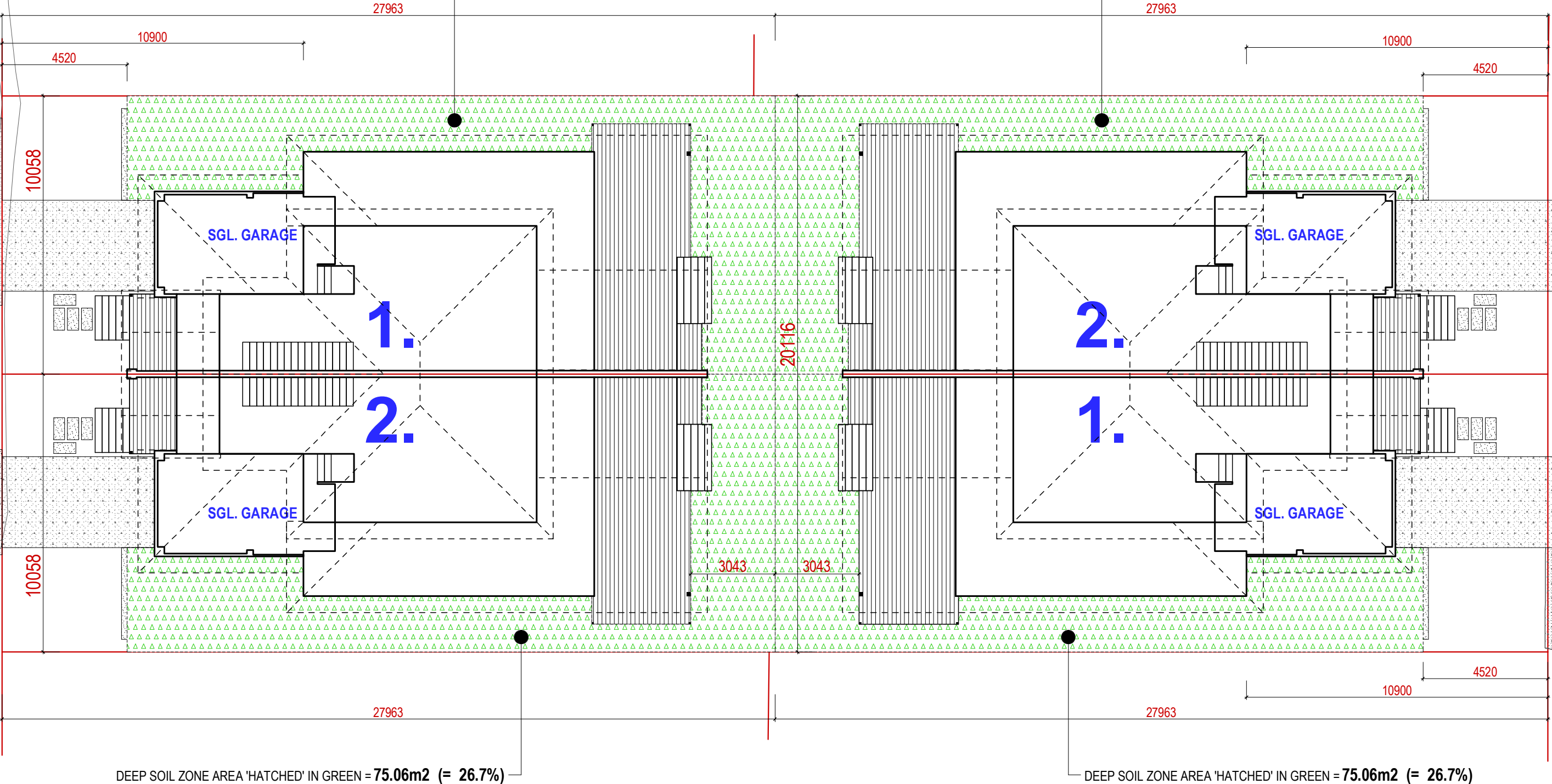
MCGOUGHANS LANE

STATION STREET

81

DEEP SOIL ZONE AREA 'HATCHED' IN GREEN = 75.06m2 (= 26.7%)

DEEP SOIL ZONE AREA 'HATCHED' IN GREEN = 75.06m2 (= 26.7%)



TOTAL SITE AREA (FOR EACH UNIT) = 281.25m2  
25% OF 281.25m2 = 70.313m2 (=MIN. SIZE FOR DEEP SOIL ZONE AREAS REQUIRED)

THE 'HATCHED' AREAS IN GREEN ABOVE DENOTES THE PROPOSED DEEP SOIL AREAS,  
THE TOTAL SIZE = 75.06m2 'or' 26.7% OF THE TOTAL SITE AREA IS ACHEIVED

At least 25% of the site must consist of DEEP SOIL AREAS, The deep soil areas must not include  
any areas used for the management of on-site sewage effluent

DEEP SOIL ZONES

SCALE 1:150 at A3.

DAMON TALLON  
Building Designer

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CLIENT: East Assets Group  
ADDRESS: Lot 26 & 27 (No:99) STATION STREET Mullumbimby, NSW. DP2772. DUAL OCCUPANCY

Rev: Description: Date:  
A DA.-01 (1st Issue) 'Dual Occupancy' - 70mm frame 14/08/21

Latest Plans: 14/08/21  
Page: 9 of 22.

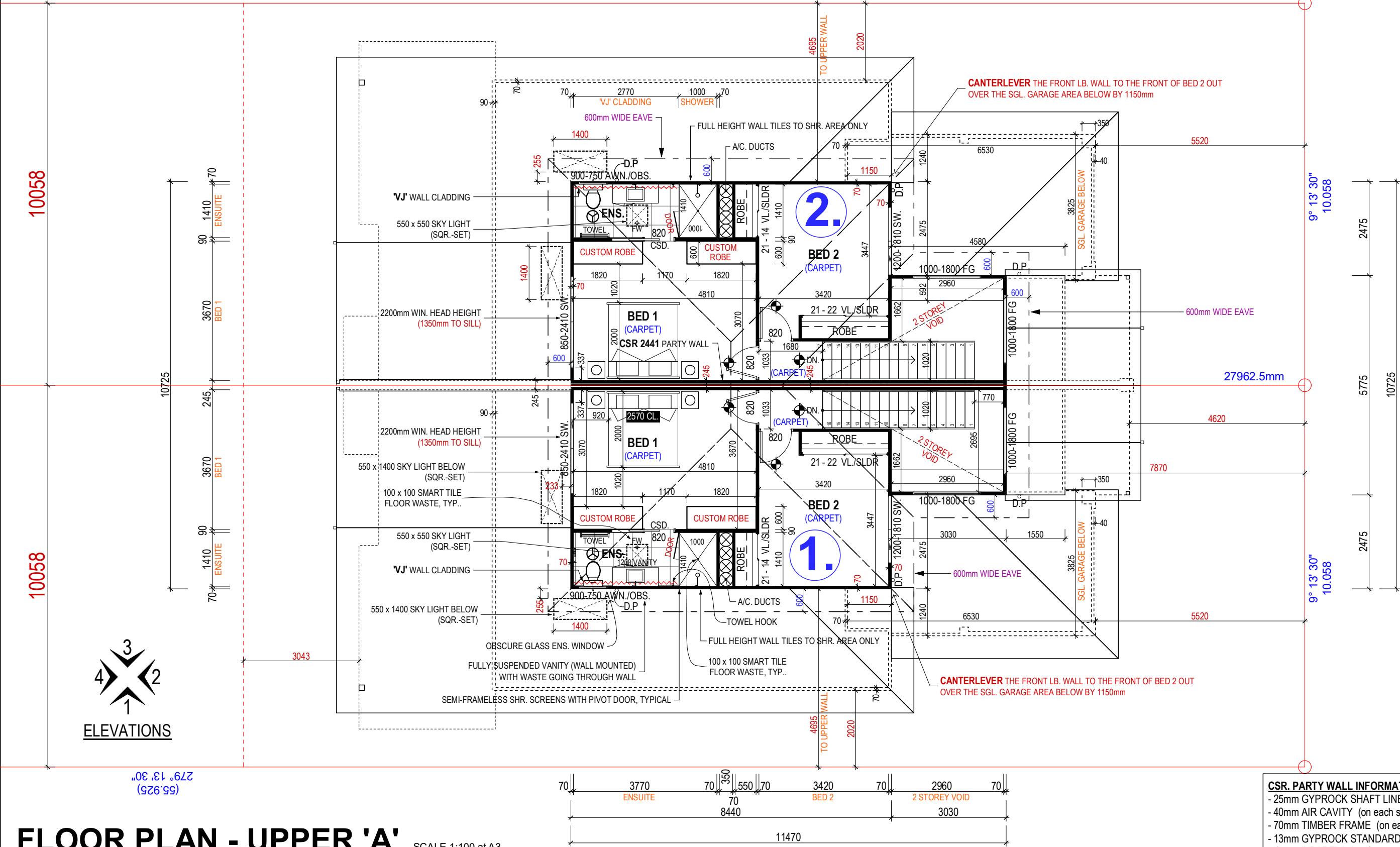
GENERAL NOTES

1. TERMITE PROTECTION TO BE INSTALLED IN ACCORDANCE WITH AS.3660.1 & PART 3.1.3 OF THE BCA.  
2. MECHANICAL VENTILATION TO BE INSTALLED AS PER PART 3.8.5 OF THE BCA.  
3. SMOKE ALARMS TO BE INSTALLED AS PER PART 3.7.2 OF THE BCA.   
4. WET AREAS TO COMPLY WITH PART 3.8.1 OF THE BCA.   
5. BEDROOM WINDOWS WITH 2m FALL HEIGHT FROM FL. TO GROUND BELOW TO COMPLY WITH N.C.C. 3.9.2.5. TO BE FITTED WITH NON-REMOVABLE SAFETY 'or' RESTRICTED TO 125mm OPENING.  
6. WC DOORS TO COMPLY WITH PART 3.8.3.3 OF THE BCA. (LIFT OFF HINGES).  
7. **ANTICON BLANKET** UNDER ALL SHEET ROOF AREA (as per Energy Efficiency Requirements).  
8. **CSR. PARTYWALL** AS INDICATED. (190 BLOCK SUB-FLOOR PARTY WALL)  
9. FIBERGLASS BATTS TO ALL EXTERNAL WALLS. (as per Energy Efficiency Requirements).

~~~~~:DENOTES WALL FACE WITH 'VJ' CLADDING

DUCTED A/C. SYSTEM AS SELECTED

10. SARKING TO ALL EXTERNAL WALLS.  
11. ALL SHR. ROSES TO BE AAA RATED.  
12. CONDUIT FOR NBN. CONNECTION INCLUDING (1) DATA POINT.  
13. COLD WATER CONNECTION TO EACH FRIDGE SPACE.  
14. ALL LOWER LEVEL INTERNAL DOORS TO BE **2340mm** HIGH.  
15. ALL UPPER LEVEL INTERNAL DOORS TO BE **2040mm** HIGH.  
16. ALL HANDRAILS TO BE MIN. OF 1000mm ABOVE F.F.L.'s.  
17. **SQUARE SET CORNICE** TO ALL UNITS ON BOTH LEVELS.



FLOOR PLAN - UPPER 'A'

SCALE 1:100 at A3.

**CSR. PARTY WALL INFORMATION: CSR 2441**  
- 25mm GYPROCK SHAFT LINER PANEL  
- 40mm AIR CAVITY (on each side)  
- 70mm TIMBER FRAME (on each side)  
- 13mm GYPROCK STANDARD PLASTERBOARD (on each side)  
(overall 'BARE' timber frame width = 245mm)

**DAMON TALLON**  
Building Designer

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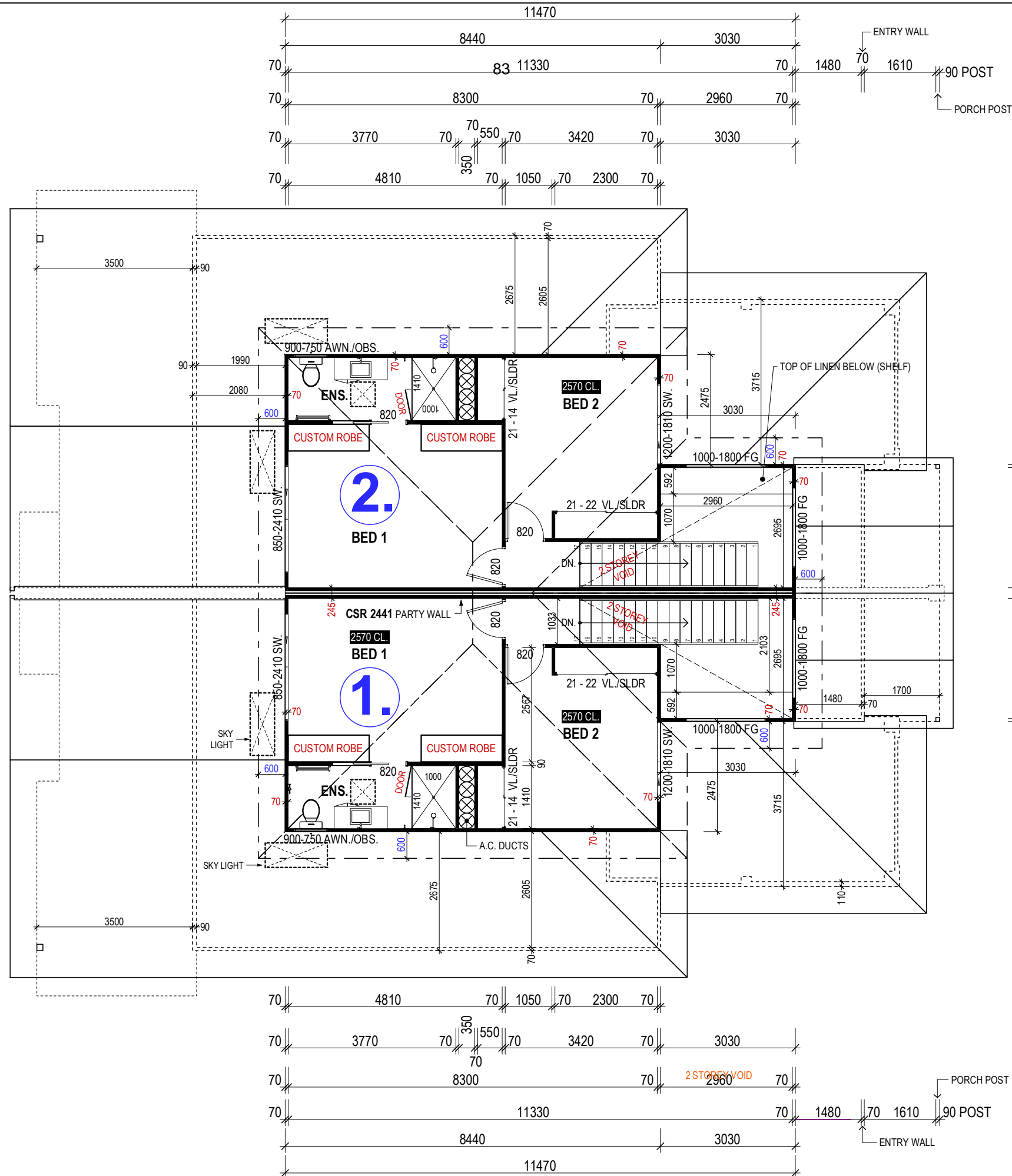
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**Rev:** A  
**Description:** DA-01 (1st Issue) 'Dual Occupancy' - 70mm frame  
**Date:** 14/08/21

**Latest Plans:** 14/08/21  
**Page:** 10 of 22.





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- 70mm TIMBER FRAME (on each side)
- 13mm GYPROCK STANDARD PLASTERBOARD (on each side)

**(overall 'BARE' timber frame width = 245mm)**

# DIMENSION PLAN

## - UPPER

SCALE 1:100 at A3.

SCALE 1:100 at A3.

**DAMON TALLON**  
*Building Designer*

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**ADDRESS:**

**East Assets Group**  
**Lot 26 & 27 (No:99) STATION STREET**  
**Mullumbimby, NSW. DP2772.**  
**DUAL OCCUPANCY**

| Rev: | Description:                                    |
|------|-------------------------------------------------|
| A    | DA-01 (1st Issue) 'Dual Occupancy' - 70mm frame |

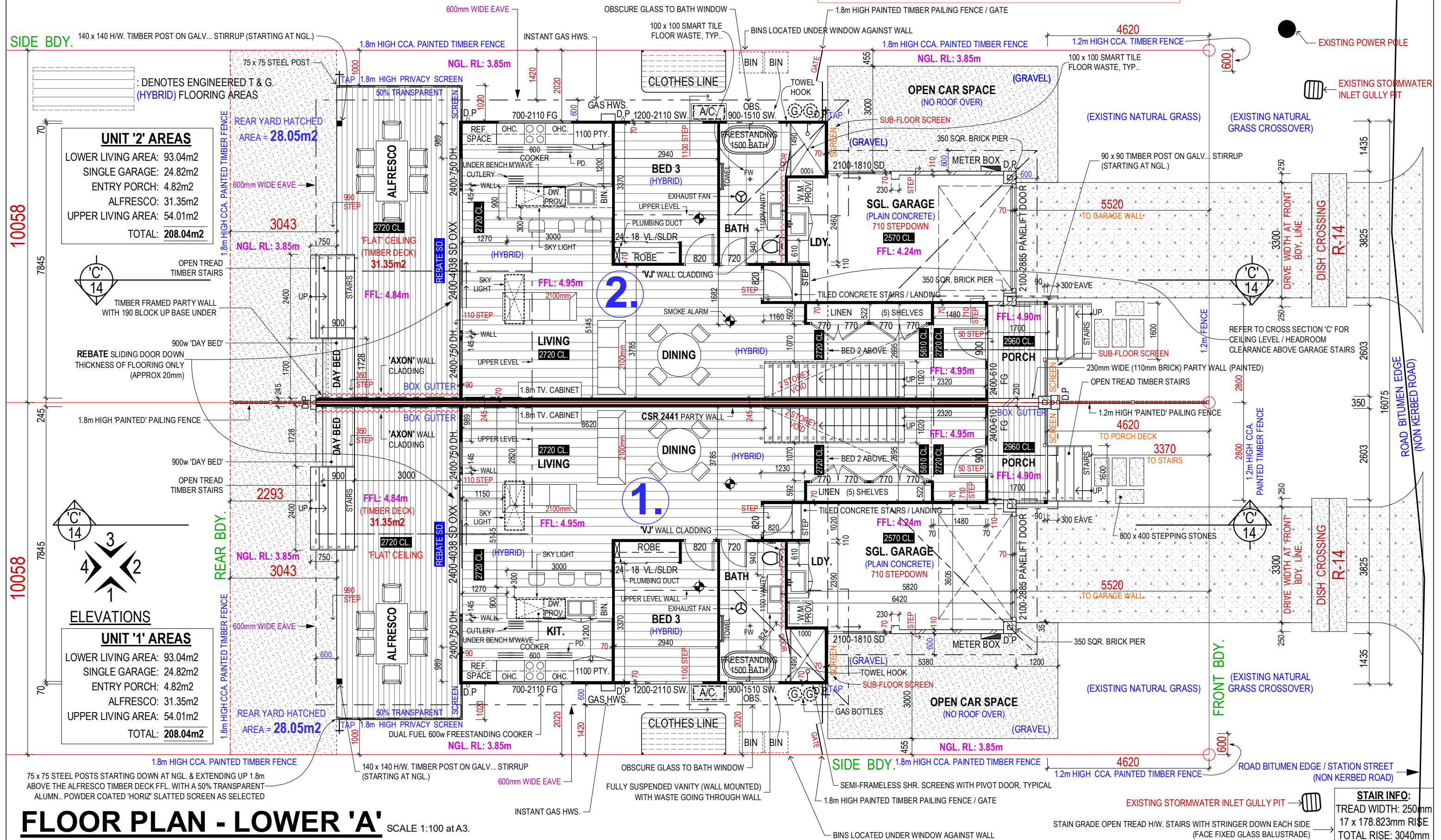
|          |
|----------|
| Date:    |
| 14/08/21 |

Latest Plans:  
14/08/21

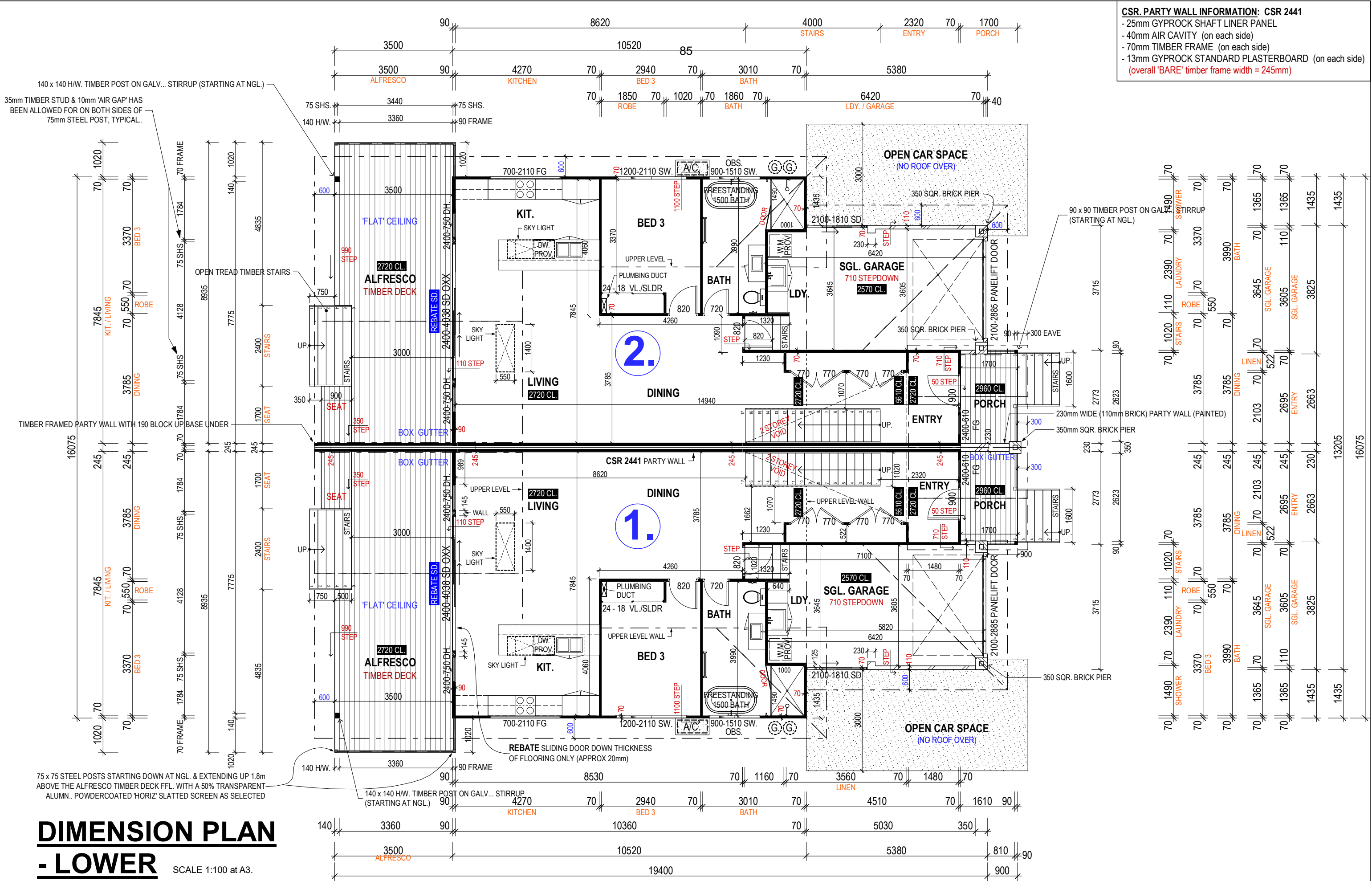
Page: **11** of **22.**

**Floor Space Ratio: (PER UNIT)**

— FLOOR SPACE RATIO: **0.461** : 1

Page: **12** of **22.**





**CSR. PARTY WALL INFORMATION: CSR 2441**  
- 25mm GYPROCK SHAFT LINER PANEL  
- 40mm AIR CAVITY (on each side)  
- 70mm TIMBER FRAME (on each side)  
- 13mm GYPROCK STANDARD PLASTERBOARD (on each side)  
(overall 'BARE' timber frame width = 245mm)

# DIMENSION PLAN

## - LOWER

SCALE 1:100 at A3.

**DAMON TALLON**  
Building Designer

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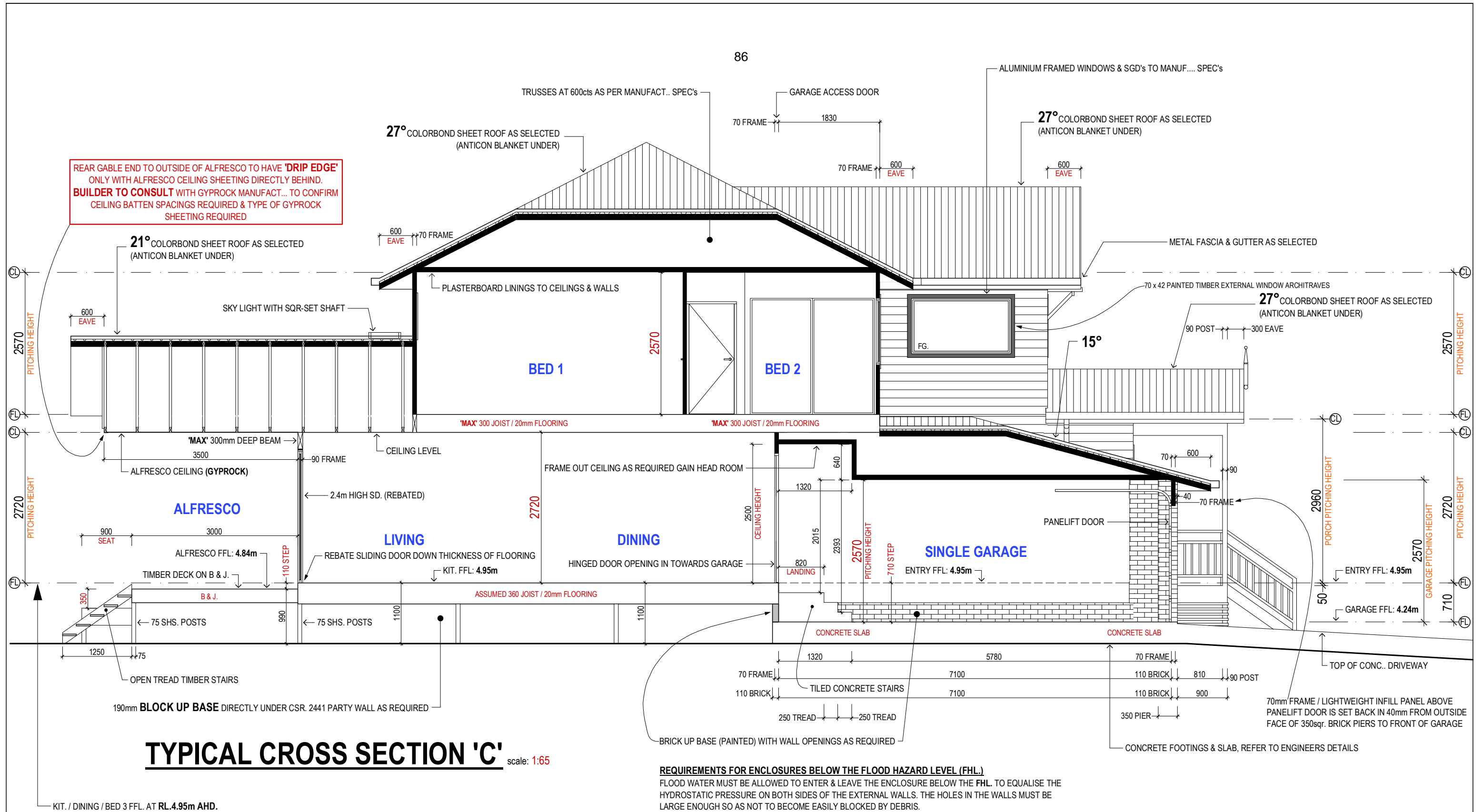
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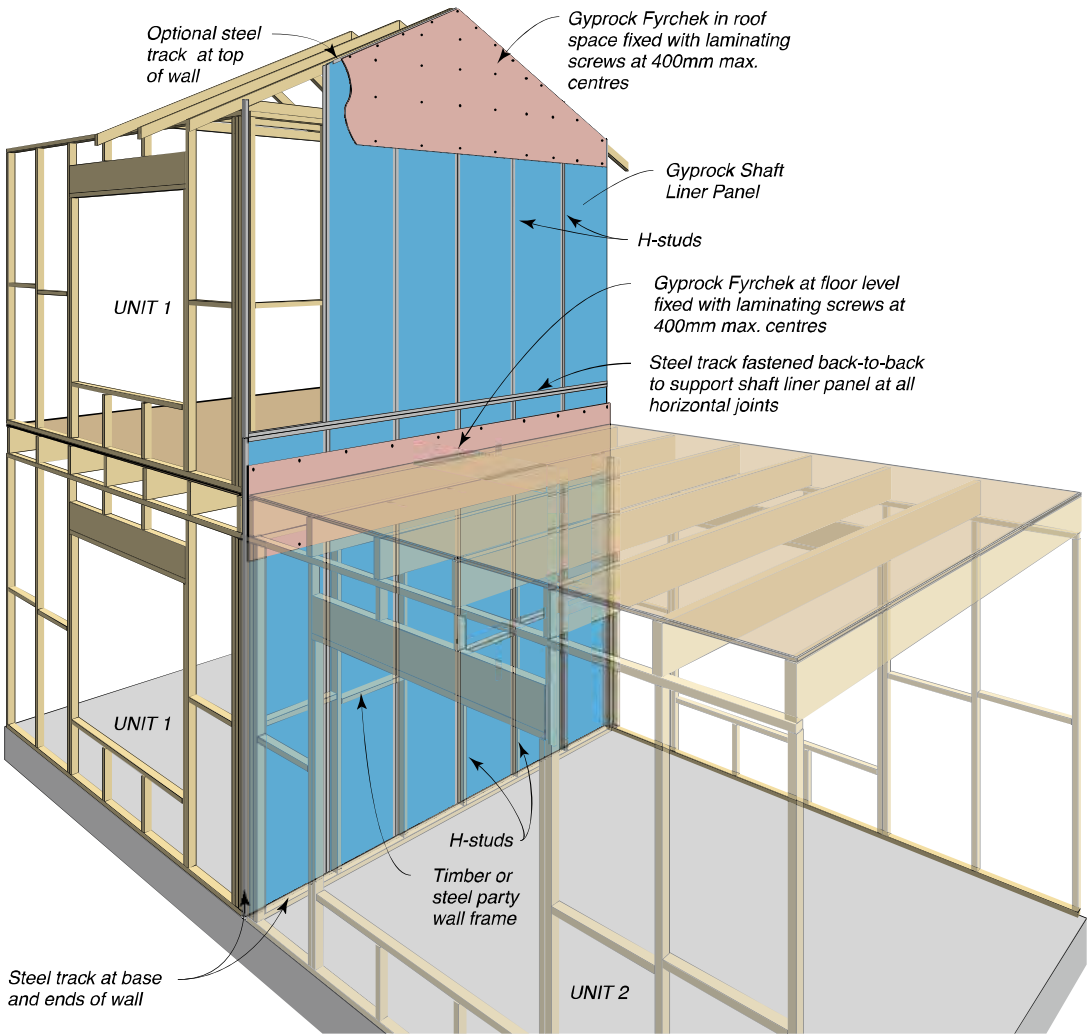
**TYPICAL CROSS SECTION 'C'** scale: 1:65

**REQUIREMENTS FOR ENCLOSURES BELOW THE FLOOD HAZARD LEVEL (FHL)**  
FLOOD WATER MUST BE ALLOWED TO ENTER & LEAVE THE ENCLOSURE BELOW THE FHL. TO EQUALISE THE HYDROSTATIC PRESSURE ON BOTH SIDES OF THE EXTERNAL WALLS. THE HOLES IN THE WALLS MUST BE LARGE ENOUGH SO AS NOT TO BECOME EASILY BLOCKED BY DEBRIS.  
(a). THERE SHOULD BE A MIN. OF TWO OPENINGS ON DIFFERENT SIDES OF EACH ENCLOSED AREA.  
(b). THE TOTAL NET AREA OF ALL OPENINGS SHOULD BE AT LEAST 1% OF THE ENCLOSED AREA.  
(c). ANY OPENING COVERS SHOULD NOT IMPEDE THE FLOW OF WATER.  
(d). CONSIDERATION SHOULD BE GIVEN TO PREVENT THE OPENINGS FROM BECOMING BLOCKED.

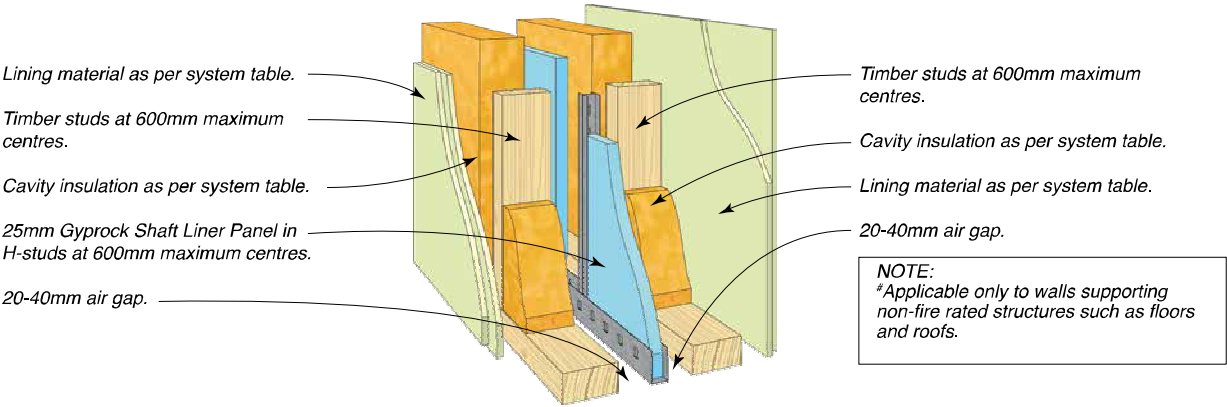
SINGLE GARAGE TOTAL ENCLOSED AREA = 24.82m2  
1% OF 24.82m2 = 0.2482m2 ← 'MIN' AREA REQUIRED FOR WALL OPENINGS

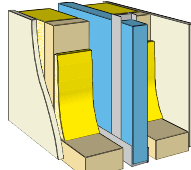
**2050 FLOOD PLANNING LEVEL INFO:**  
THE FINISHED FLOOR LEVEL TO THE LOWER LEVEL (KIT. / DINING / BED 3) LEVEL HABITABLE ROOMS TO ALL UNITS IS TO BE AT RL.4.95m AHD.  
THE 2050 FLOOD PLANNING LEVEL USED FOR ALL UNITS (BOTH BLOCKS) IS AT RL. 4.95m AHD.

Figure 1: CSR Gyprock Party Wall Overview



SYSTEM SPECIFICATIONS Timber Frame Internal Wall Systems – Party Wall with Timber Stud Framing



| SYSTEM SPECIFICATION                                                        |                                                                                                        |                                                            | ACOUSTIC OPINION: PKA Predictor V16<br>Discontinuous Construction            |                                                  |       |
|-----------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------|------------------------------------------------------------|------------------------------------------------------------------------------|--------------------------------------------------|-------|
| FRL<br>Report/Opinion                                                       | SYSTEM<br>N°                                                                                           | WALL LININGS                                               | STUD DEPTH mm                                                                | 70                                               | 90    |
|                                                                             |                                                                                                        |                                                            | CAVITY INFILL (Both Sides)<br><small>(Refer to Insulation Materials)</small> | R <sub>w</sub> / R <sub>w</sub> +C <sub>tr</sub> |       |
| - /60/60<br>60/60/60#<br><small>(from both sides)</small><br><br>EWFA 45743 | <b>CSR 2441</b><br> | BOTH SIDES<br>• 1 x 13mm Gyprock<br>Standard Plasterboard. | (a) 75 Gold Batts 2.0                                                        | 61/48                                            | 62/50 |
|                                                                             |                                                                                                        |                                                            | (b) 90 Gold Batts 2.7                                                        | 63/50                                            | 64/52 |
|                                                                             |                                                                                                        |                                                            | (c) 88 Soundscreen 2.5                                                       | 64/51                                            | 65/53 |
|                                                                             |                                                                                                        |                                                            | (e) 110 Acoustigard 2.5                                                      | 63/50                                            | 64/52 |
|                                                                             |                                                                                                        |                                                            | Minimum Wall Thickness mm                                                    |                                                  |       |

Typical Construction Details

87  
Fire appraisal WFRA 45743, unless noted otherwise.

Figure 9: Fixing Of Wall Clip to Timber Stud Framing And H-stud

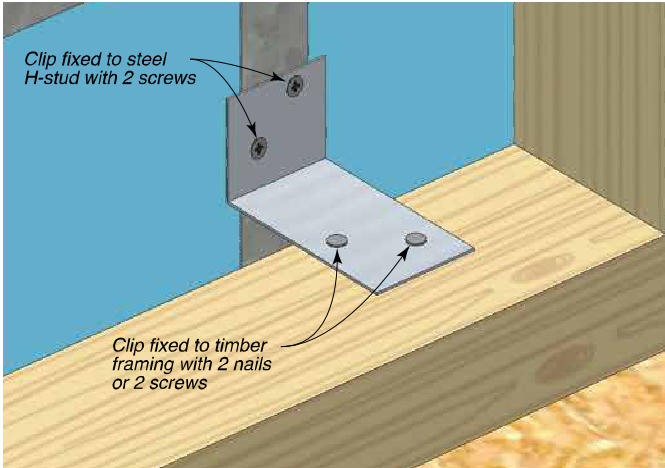


Figure 11: Fixing Aluminium Straps At End Of Wall

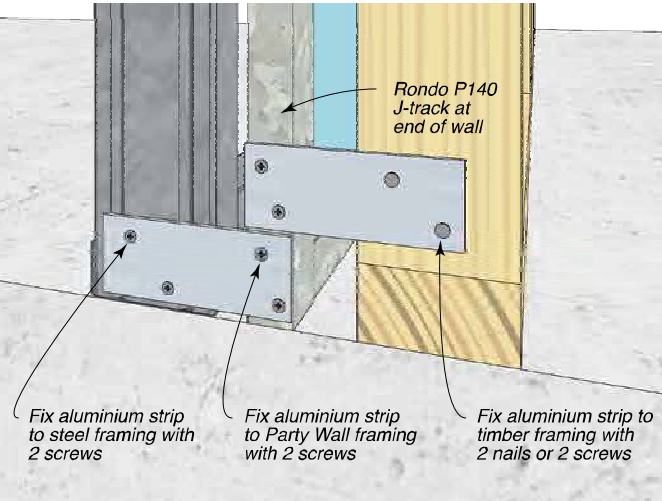


Figure 14: Base Detail At Framed Floor

Approval: EWFA 45743 UNO

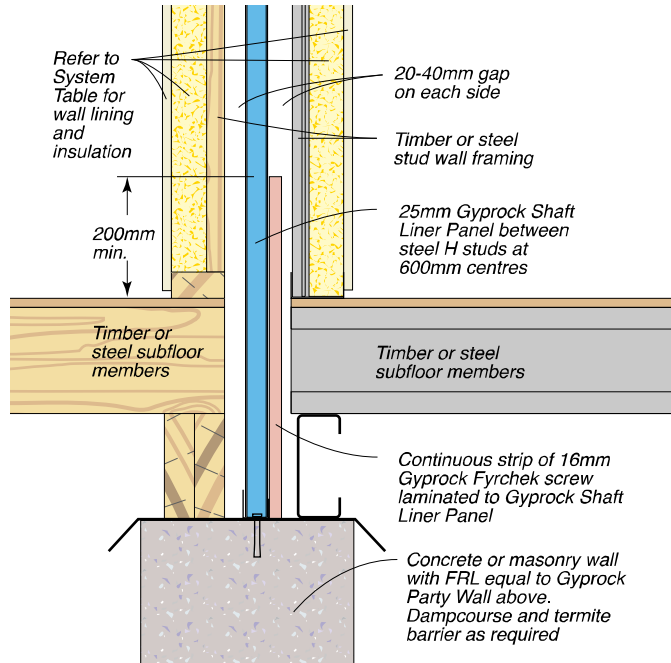
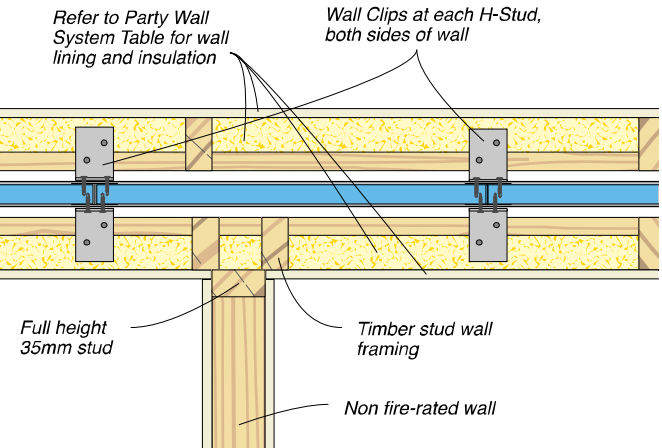
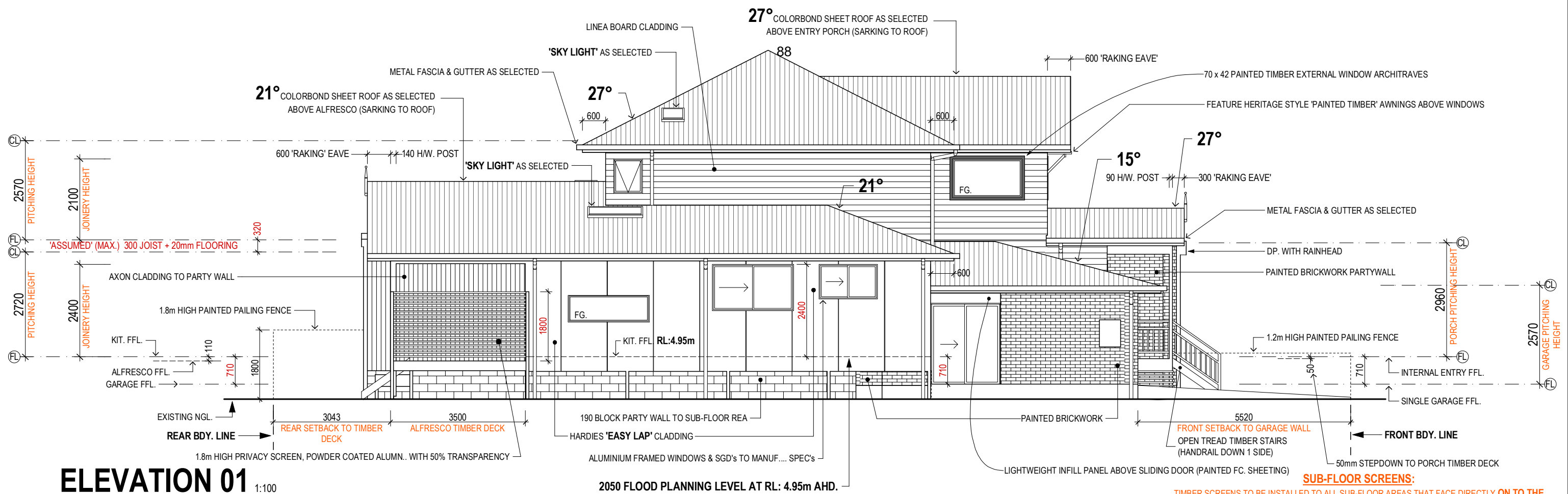


Figure 17: Junction Of Party Wall And Non-Fire Rated Internal Timber Framed Wall – Plan View







#### SUB-FLOOR SCREENS:

TIMBER SCREENS TO BE INSTALLED TO ALL SUB-FLOOR AREAS THAT FACE DIRECTLY ON TO THE STREET ONLY (TO FRONT OF LOWER BATHROOM WHERE SHOWER IS LOCATED & ACROSS THE FRONT & DOWN ONE SIDE OF THE ENTRY PORCH TIMBER DECK AREA). SCREENS ARE TO BE CONSTRUCTED FROM 90 x 19mm H/W. DECKING WITH 45mm 'AIR GAP' BETWEEN EACH BOARD WITH PAINT FINISH

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1.8m HIGH PRIVACY SCREEN (50% TRANSPARENT)  
AS SELECTED

75 x 75 STEEL POSTS

VIEW 01

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Building Designer

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FEATURE GABLE TIMBER INFILL LOCATED BACK IN AT WALL FACE WITH 'SMOOTH' FC. SHEETING DIRECTLY BEHIND. (66 x 11 VERTICAL BOARDS WITH 200mm 'GAP' BETWEEN & 90 x 19 HORIZ. BOTTOM RAIL, H3. (DAR.) L.O.S.P. PAINTED TIMBER

FEATURE HERITAGE STYLE 'PAINTED TIMBER' AWNINGS ABOVE WINDOWS

TOP OF ROOF AT HIGHEST POINT

27° COLORBOND SHEET ROOF AS SELECTED  
ABOVE ENTRY PORCH (SARKING TO ROOF)

SIDE BDY. LINE

4695  
SIDE SETBACK TO BED 2 WALL

21° COLORBOND SHEET ROOF AS SELECTED  
(SARKING TO ROOF)

15° COLORBOND SHEET ROOF AS SELECTED  
ABOVE SINGLE GARAGE (SARKING TO ROOF)

'ASSUMED' (MAX.) 300 JOIST + 20mm FLOORING

METAL FASCIA & GUTTER AS SELECTED

LIGHTWEIGHT INFILL PANEL ABOVE PANELIFT DOOR (PAINTED FC. SHEETING)

75 x 75 STEEL POST

BATH FFL. APPROX 1100mm ABOVE EXISTING NGL.

KIT. FFL. RL:4.95m

50mm STEPDOWN TO PORCH TIMBER DECK

2050 FLOOD PLANNING LEVEL AT RL: 4.95m AHD.

SIDE BDY. LINE

**ELEVATION 02**

1:100

#### SUB-FLOOR SCREENS:

TIMBER SCREENS TO BE INSTALLED TO ALL SUB-FLOOR AREAS THAT FACE DIRECTLY **ON TO THE STREET ONLY** (TO FRONT OF LOWER BATHROOM WHERE SHOWER IS LOCATED & ACROSS THE FRONT & DOWN ONE SIDE OF THE ENTRY PORCH TIMBER DECK AREA). SCREENS ARE TO BE CONSTRUCTED FROM 90 x 19mm H/W. DECKING WITH 45mm 'AIR GAP' BETWEEN EACH BOARD WITH PAINT FINISH

FEATURE 'HERITAGE STYLE' PAINTED TIMBER WINDOW AWNING AS SELECTED

70 x 42 PAINTED TIMBER EXTERNAL WINDOW ARCHITRAVES TO SELECTED WINDOWS

FEATURE PAINTED TIMBER WALL BATTENS  
(ON WALL FACE)

FEATURE PAINTED TIMBER FINIAL AS SELECTED

**VIEW 02**

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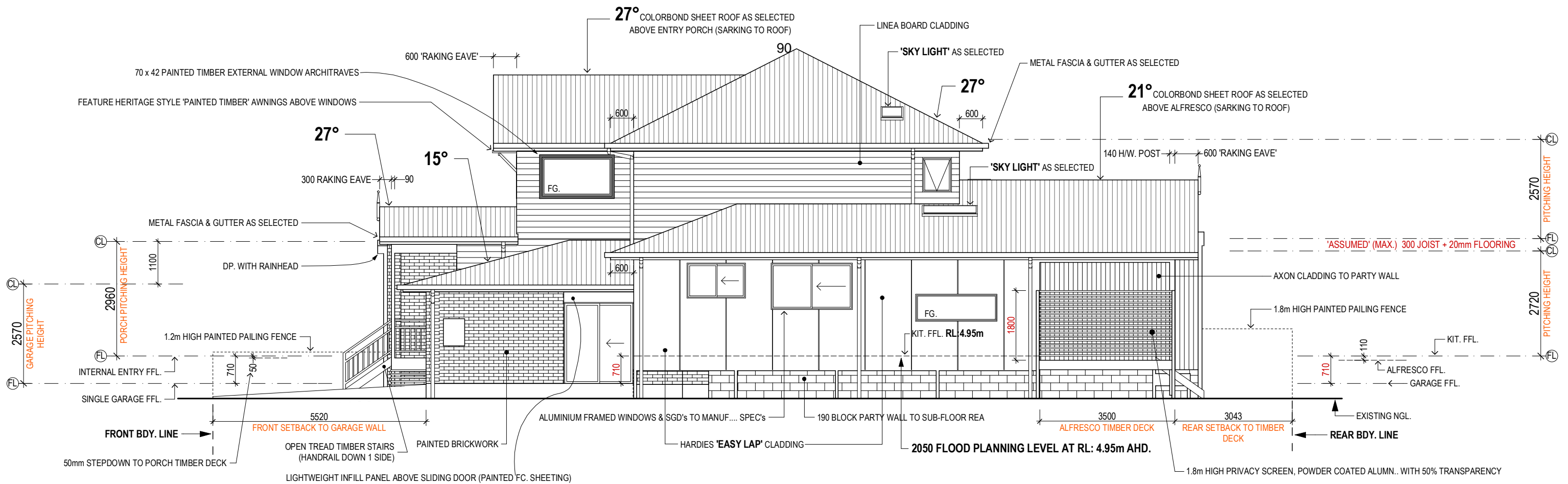
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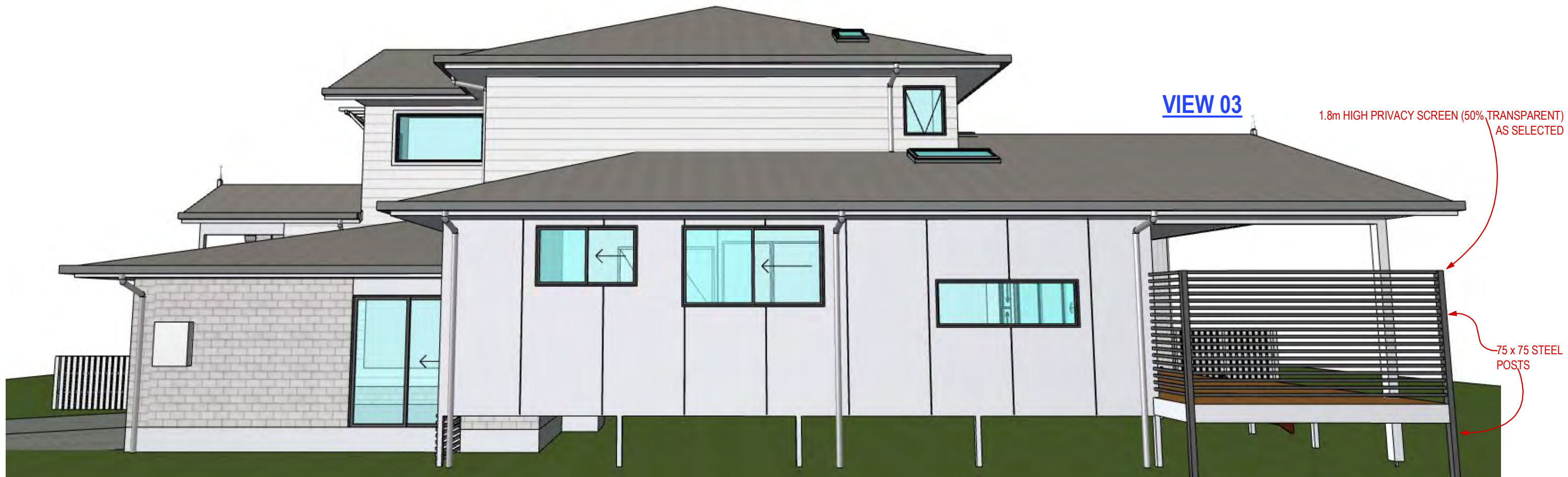
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## ELEVATION 03

1:100



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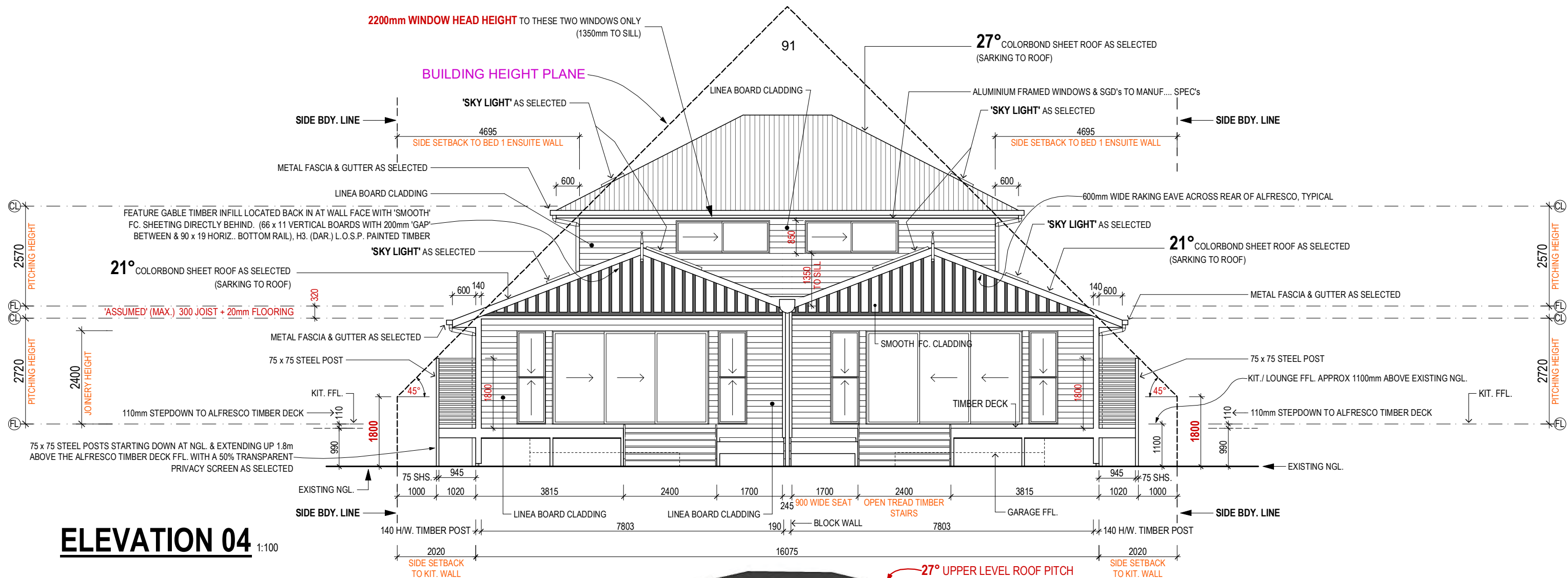
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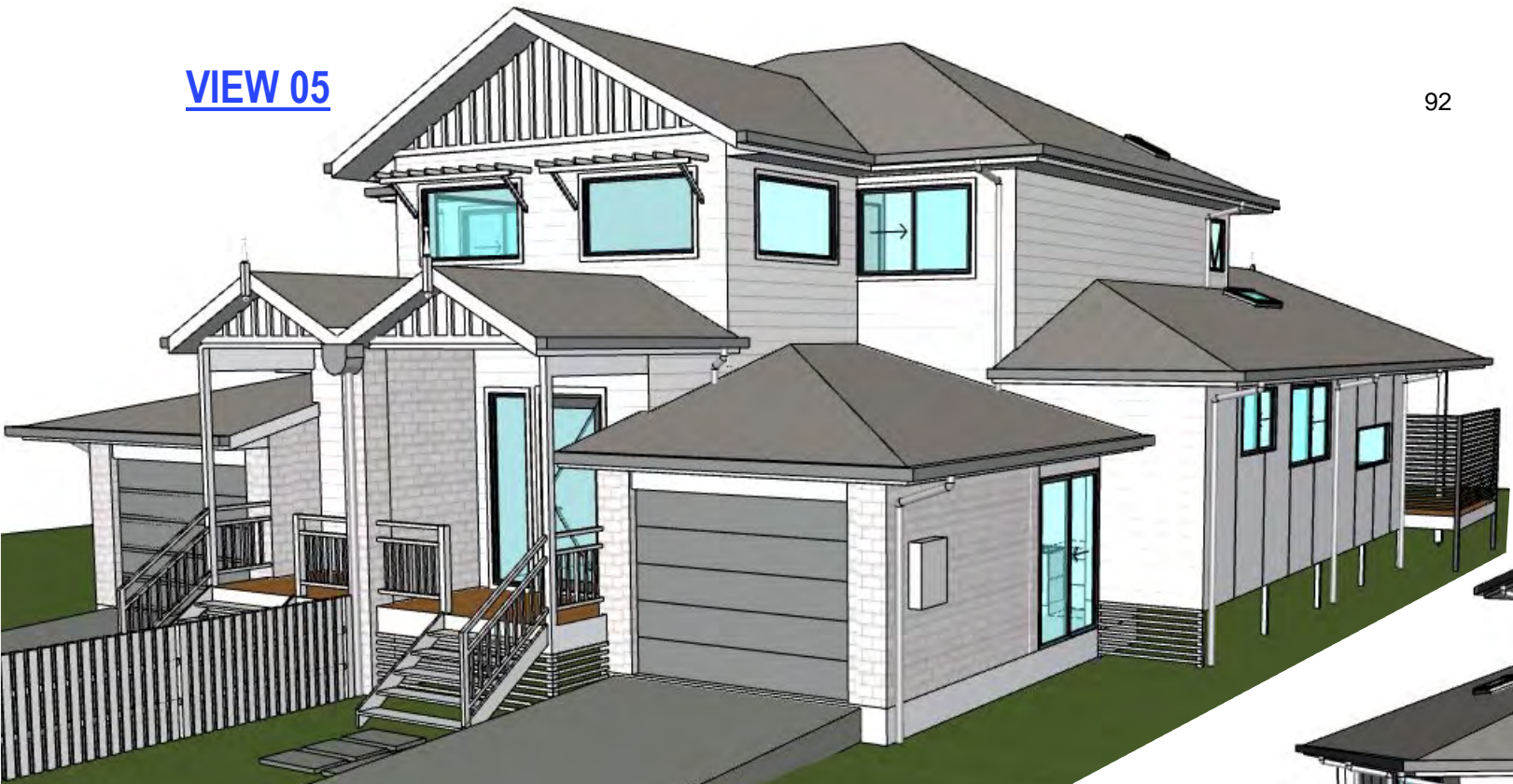
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VIEW 05

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VIEW 06



VIEW 07



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VIEW 09



VIEW 08



VIEW 10



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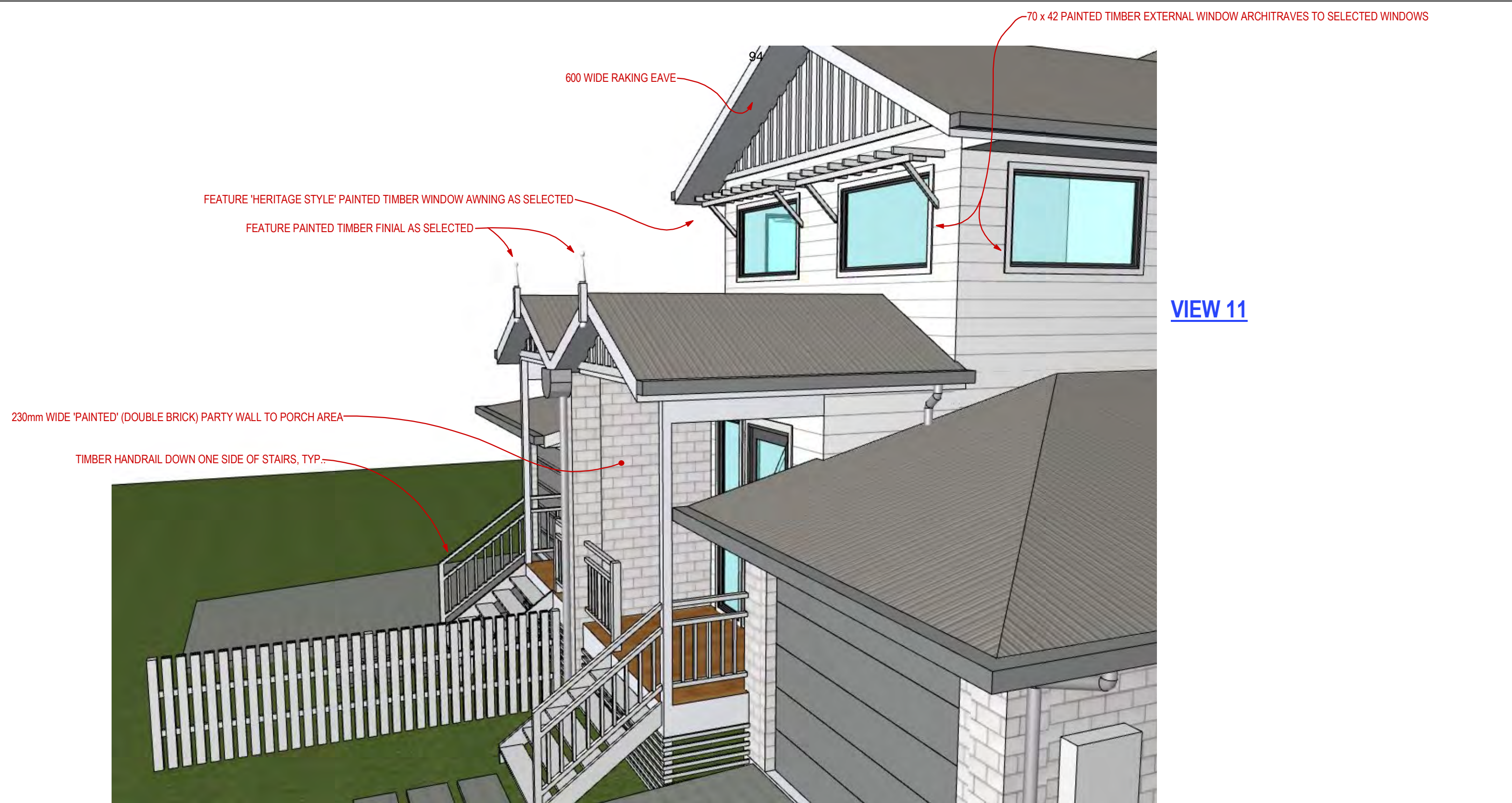
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VIEW 11

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Site Coverage: (PER UNIT)

TOTAL SITE AREA: 281.25m2  
TOTAL HOUSE GFA.: 150.90m2  
SITE COVERAGE: 53.7%

Floor Space Ratio: (PER UNIT)

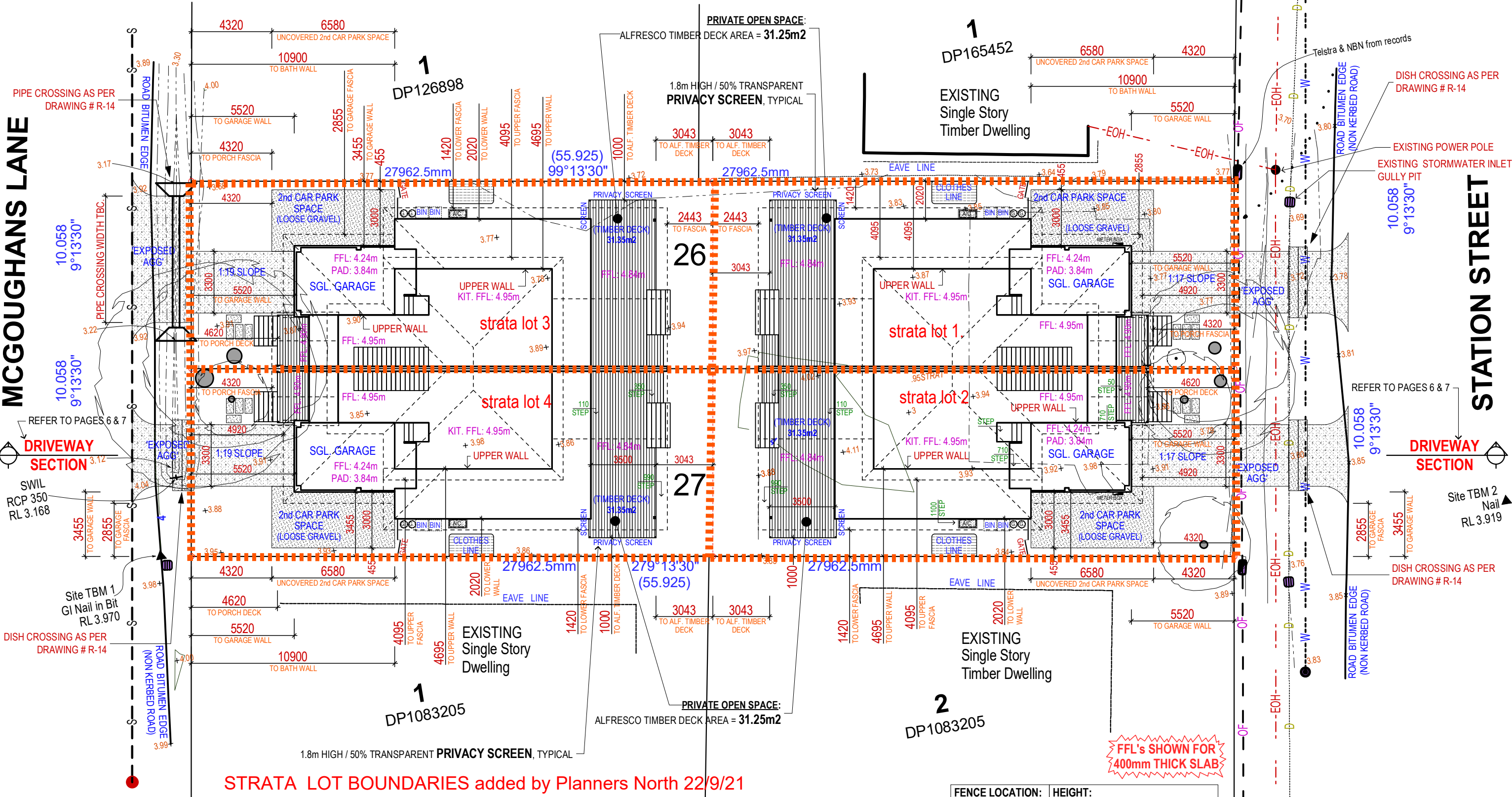
TOTAL SITE AREA: 281.25m2  
(UPPER GFA. = 41.23m2 / LOWER GFA. = 88.62m2) TOTAL GFA. = 129.85m2

THIS TOTAL DOES NOT INCLUDE THE EXTERNAL WALL THICKNESS, (GFA AREAS MEASURED FROM THE INSIDE FACE OF EXTERNAL WALLS). TOTAL ALSO DOES NOT INCLUDE THE REAR EXTERNAL ALFRESCO TIMBER DECK, ENTRY PORCH DECK & THE INTERNAL STAIRS / LANDING AREA AT REAR OF GARAGE.

FLOOR SPACE RATIO: 0.461 : 1

MCGOUGHANS LANE

STATION STREET



SITE PLAN - OVERALL

SCALE 1:200 at A3.

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